

Planning Committee Agenda



Reigate & Banstead
BOROUGH COUNCIL
Banstead | Horley | Redhill | Reigate

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12 March 2019

To the Members of the PLANNING COMMITTEE

Councillors: S. Parnall (Chairman)

M. S. Blacker	J. M. Ellacott	J. M. Stephenson
Mrs. R. Absalom	V. H. Lewanski	C. Stevens
L. S. Ascough	S. McKenna	Ms. B. J. Thomson
R. Biggs	R. Michalowski	Mrs. R. S. Turner
Mrs. J. S. Bray	J. Paul	S. T. Walsh
G. P. Crome	M. J. Selby	C. T. H. Whinney

Substitutes

Councillors:

Conservatives: T. Archer, M. A. Brunt, J. E. Durrant, J. S. Godden,
Dr. L. R. Hack, A. C. J. Horwood, F. Kelly, G. J. Knight,
G. Owen, D. T. Powell, T. Schofield and J. F. White

Residents' Group: R. Harper, N. D. Harrison and B. A. Stead

Green Party: H. Brown and J. C. S. Essex

For a meeting of the **PLANNING COMMITTEE** to be held on **WEDNESDAY, 20 MARCH 2019** at **7.30 pm** in the New Council Chamber - Town Hall.

John Jory
Chief Executive

1. MINUTES (Pages 5 - 8)

To confirm as a correct record the Minutes of the previous meeting.

2. APOLOGIES FOR ABSENCE

To receive any apologies for absence.

3. DECLARATIONS OF INTEREST

To receive any declarations of interest.

4. ADDENDUM TO THE AGENDA (To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

PLANNING APPLICATIONS:

NOTES:

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

5. 18/02628/F - LAND TO THE REAR OF 48 BRIGHTON ROAD AND REAR OF 10 CHURCH ROAD, HORLEY (Pages 9 - 28)

Two proposed dwellings to the rear of 48 Brighton Road.

6. 18/02390/F - 77-83 BELL STREET, REIGATE (Pages 29 - 46)

Extending the roof above the rear wings of the properties providing 2 additional residential units in addition to the recent residential conversion of the existing buildings.

7. 19/00279/HHOLD - 48 CHAPEL ROAD, TADWORTH

(Pages 47 - 56)

4.5 metre-deep single-storey rear extension.

8. ANY OTHER URGENT BUSINESS

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.

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BOROUGH OF REIGATE AND BANSTEAD

PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held at the New Council Chamber - Town Hall on 20 February 2019 at 7.30 pm.

Present: Councillors S. Parnall (Chairman), M. S. Blacker (Vice-Chair), Mrs. R. Absalom, R. Biggs, Mrs. J. S. Bray, G. P. Crome, V. H. Lewanski, S. McKenna, R. Michalowski, J. Paul, M. J. Selby, J. M. Stephenson, C. Stevens, Ms. B. J. Thomson, Mrs. R. S. Turner, S. T. Walsh, C. T. H. Whinney and J. F. White (Substitute).

103. MINUTES

The minutes of the previous meeting held on 23rd January 2019 were approved.

104. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor J. M. Ellacott (substituted by Councillor J. F. White).

105. DECLARATIONS OF INTEREST

Councillor Mrs. R. Absalom declared a non-pecuniary interest in item 5 for the application at 13 Beverley Heights as she had co-founded the Alma Area Residents' Association (AARA) before subsequently resigning following her election as a Ward Councillor. Mr Michael Keep, a local resident who had registered to speak in objection to the application, was also a member of the AARA prior to its closure. Councillor Mrs. R. Absalom participated in the debate and vote.

106. ADDENDUM TO THE AGENDA

RESOLVED that the addendum be noted.

107. 18/01947/F - THE ORCHARD, 13 BEVERLEY HEIGHTS, REIGATE, SURREY, RH2 0DL

The Committee considered an application at The Orchard, 13 Beverley Heights in Reigate for the demolition of the existing dwelling and construction of three new dwellings.

Mr Michael Keep, a local resident, spoke in objection to the application on the grounds that:

- a) the bulk, mass and proximity of the proposed development in relation to the southern boundary would cause an unacceptable loss of privacy and harm to the amenity of neighbouring properties in Beverley Heights by virtue of overlooking;
- b) the spacing and density of the proposed development would cause unacceptable harm to the character of the area, contrary to policy Ho15 in

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- respect of the Alma Road and Raglan Road Area of Special Character (RASC); and
- c) the design of the proposed development was considered to be unattractive and therefore contrary to Statement 12 of the National Planning Policy Framework.

Mr Derek Dawson, the agent on behalf of the applicant, spoke in support of the application on the grounds that the proposals included sufficient screening on the southern boundary to mitigate potential overlooking for the neighbouring properties on Beverley Heights.

The Committee discussed the criteria within policy Ho15 in respect of the RASC; topography; elevation; landscaping; separation distances; loss of privacy; highways access; waste collection; and the impact on the character and amenity of the area.

Reasons for refusal were proposed and seconded and upon a vote it was **RESOLVED** that planning permission be **REFUSED** on the grounds that:

1. The proposed development would, by virtue of the proposed layout, outlook (with each property having two primary first floor bedroom windows on their front elevation) and elevated position of Plots 1 and 2, result in overlooking and loss of privacy to the garden and swimming pool of 2 Beverley Heights, as well as appearing overbearing and dominant when viewed from it. The proposal would therefore cause significant harm to the residential amenities of this property contrary to policies Ho9, Ho13 and Ho14 of the Reigate and Banstead Local Plan 2005 and the provisions of the Reigate and Banstead Local Distinctiveness Design Guide.
2. The proposed development would, by virtue of the multiple access arrangements, loss of hedging and amount of hard landscaping at the end of the cul-de-sac cause a harmful interruption of the street frontage which combined with the elevated position, height and scale of the dwellings beyond would cause significant harm to the verdant, open and spacious character of the area including the Alma Road & Alders Road Residential Area of Special Character contrary to policies Ho9, Ho13, Ho14 and Ho15 of the Reigate and Banstead Local Plan 2005, Policy CS4 of the Reigate and Banstead Core Strategy 2014 and the provisions of the Reigate and Banstead Local Distinctiveness Design Guide.

108. 19/00063/F - GLOUCESTER ROAD CAR PARK, GLOUCESTER ROAD, REDHILL, SURREY, RH1 1BS

The Committee considered an application at Gloucester Road Car Park in Redhill for the deployment of 2 x 14sqm and 1 x 8sqm shipping containers within the car park, to be utilised as storage for the Town Centre Market operation. It was proposed that the containers be sited there for 3 years.

The proposals would increase the number of parking bays from 274 to 293 by reconfiguring the layout of the car park.

In the interests of transparency, the Chairman explained that the applicant was Reigate and Banstead Borough Council.

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RESOLVED that planning permission be **GRANTED** as per the recommendation, plus an additional condition requiring the containers to be painted prior to installation.

109. 18/02696/HHOLD - SOUTH WEST WING, WALTON MANOR, WALTON STREET, WALTON ON THE HILL, TADWORTH, SURREY, KT20 7SA

The Committee considered an application at the South West Wing of Walton Manor, Walton Street in Walton on the Hill, Tadworth for the installation of a ground mounted solar photovoltaic array of panels in the gardens.

Reasons for refusal were proposed and seconded on the grounds that:

1. The proposed development, by virtue of its scale and spread within an undeveloped and otherwise open part of the site, would cause significant harm to the openness of the green belt and was inappropriate development. The benefits of the development, including the benefit of the renewable energy provision, was not considered to outweigh this harm such that no very special circumstances were considered to exist and the proposal was therefore contrary to Policies Co1 and Ho24a of the Reigate and Banstead Borough Local Plan 2005 and Policy CS3 of the Reigate and Banstead Core Strategy 2014; and
 - upon a vote the motion to refuse the application on those grounds was not carried.

A motion to approve the application as per the officer recommendation was subsequently put to the Committee and it was:

RESOLVED that planning permission be **GRANTED** as per the recommendation.

110. ANY OTHER URGENT BUSINESS

There was no urgent business to consider.

The Meeting closed at 8.46 pm

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 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	20 March 2019
	REPORT OF:	HEAD OF PLACES AND PLANNING
	AUTHOR:	Matthew Holdsworth
	TELEPHONE:	01737 276752
	EMAIL:	Matthew.Holdsworth@reigate-banstead.gov.uk
AGENDA ITEM:	5	WARD: Horley Central

APPLICATION NUMBER:	18/02628/F	VALID:	24 January 2019
APPLICANT:	Amora Homes Limited	AGENT:	
LOCATION:	LAND TO THE REAR OF 48 BRIGHTON ROAD AND REAR OF 10 CHURCH ROAD, HORLEY		
DESCRIPTION:	Two proposed dwellings to the rear of 48 Brighton Road.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full application for the erection of two detached dwellings to the rear of 48 Brighton Road and 10 Church Road in Horley, including a new driveway with access from Brighton Road following the demolition of the garage at no. 48 Brighton Road

The two new properties have been designed in a similar style to the donor property and others along this stretch of Brighton Road and during the course of the application have been reduced in scale at first floor level. Increased landscaping has also been provided to soften the visual impact of the development. The proposed dwellings would be located to the rear of the established building line but the principle of this is not objectionable in policy terms subject to criteria being met and the pattern follows recent developments between Church Road and Massetts Road rear of Pine Gardens. This is the first garden site within this stretch of properties with the Air Balloon public house and car park locate immediately north and so the properties would not appear isolated and incongruous within a back garden environment as a result.

It is considered that the proposed new dwellings would be sufficiently sighted from neighbouring properties to minimise any harmful loss of amenity to those properties and the utilisation of the additional garden land of 10 Church Road ensures a depth of garden commensurate with the surrounding character and as an additional buffer to neighbouring properties.

The new driveway has been amended during the course of the application to take it away from the donor property's northern elevation to minimise disturbance. The

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County Highway officers have assessed the scheme and have no concerns in terms of traffic generation and parking. They have advised that vehicles would be able to enter and exit the site in forward gear (subject to conditions) and are satisfied with the visibility onto Brighton Road. In addition, the tree officer has assessed the development in terms of impact on trees and future landscaping and has no objections subject to conditions.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Highway Authority: The proposed development has been considered by the county highway authority in terms of the likely net additional traffic generation, access arrangements and parking provision who consider it acceptable subject to conditions relating to the modified vehicular access, space laid out for parking, electrical car charging points and the provision of a Construction Transport Management Plan.

SES Water: no comments received

Horley Town Council: Objects due to overdevelopment, lack of amenity space and unsuitability of creating another access to the very busy A23, with the pub car park and congestion from vehicles queuing at the traffic lights.

Tree Officer: Recommends full tree protection condition and landscaping condition.

Representations:

Letters were sent to neighbouring properties on 24 January 2019, and 25 February 2019. A site notice was posted on 29 January 2019. Three letters of representation from local residents have been received raising the following concerns:

Issue	Number	Response
Increase in traffic and congestion	2	See paragraph 6.12/6.13
Lack of parking	2	See paragraph 6.14
Overshadowing	1	See paragraph 6.7
Overlooking	2	See paragraph 6.9
Overdevelopment	1	See paragraph 6.3
Inconvenience during construction	2	This is not a material planning consideration
Loss of private view	2	This is not a material planning consideration

A letter of support from the owner of 48 Brighton Road (the applicant) has also been received. A further letter of support from a local resident has also been received.

1.0 Site and Character Appraisal

1.1 The site is currently occupied by a substantial detached Victorian / Edwardian property set in a long plot. In addition the rear half of the long garden at 10 Church Road also forms part of the planning application. To the south of the site along Brighton Road are properties of a similar style in smaller plots. To the east is mixed residential along Church Road, the majority of which have long gardens. To the north is a large public house and its car park. There is a

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belt of trees along the northern boundary that could be affected by the proposal. The site is relatively flat

- 1.2 The site is on the east side of the A23, Brighton Road and the donor property has existing access from that road. The site is within the urban area and there are no protected trees on site.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Advice was given on a scheme which did not incorporate any land from 10 Church Road and concern was raised in terms of the lack of amenity space and the potential for two new houses on the site.
- 2.2 Further improvements could be secured: Conditions will be placed on the grant of permission in regard to the materials used, removal of permitted development rights for extensions, removal of permitted development rights for additional windows, obscure glazing to first floor side facing windows, construction management plan, parking, electrical charging points, tree protection condition, landscaping condition.

3.0 Relevant Planning and Enforcement History

- 3.1 88/11840/F - EXTENSION TO GARAGE – granted (for 48 Brighton Road)
- 3.2 74P/0654 - PROPOSED SINGLE STOREY EXTENSION. – approved with conditions (for 10 Church Road)

4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of two detached three bedroom dwellings in land to the rear of 48 Brighton Road and 10 Church Road in Horley.
- 4.2 Access would be provided from Brighton Road, using the existing access from no.48. A new access Road along the northern boundary would be created following the removal of the attached garage to no.48.
- 4.3 Space has been provided within the site for 2 car parking spaces per property along with cycle storage and bin stores for each property.
- 4.4 Amended plans have been received during the course of the application, reducing the depth of the buildings at first floor level and moving the proposed access drive away from the boundary of no.48 Brighton Road.
- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:

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- Assessment;
- Involvement;
- Evaluation; and
- Design.

4.6 Evidence of the applicant's design approach is set out below:

Assessment	The statement states that the applicants have used the host dwellings side elevation as the building line for the proposed houses which face out of the site towards the boundary with the adjacent large car park to the local public house. They effectively complete perimeter development to the area block rather than being strictly defined as backland development.
	<p>The dwellings are designed over 2 floors with all views from habitable rooms directed North and South away from surrounding properties.</p> <p>We have incorporated provision for 2no parking bays per dwelling to ensure no excess pressure is put on the surrounding public roads.</p> <p>The driveway will be made up of permeable Geogrid to reduce the visual impact and protect the boundary trees. Separate bin stores for waste and recycling along with covered cycles stores are provided and hidden by the dwellings.</p>
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The size of the proposed dwellings has been thoroughly considered to match the host property and surrounding houses in relation to size, height, style and prominent features such as ground floor bay windows.

5.0 Policy Context

5.1 Designation

Urban Area

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
 CS4 (Valued Townscapes and Historic Environment)
 CS10 (Sustainable Development),
 CS11 (Sustainable Construction),
 CS15 (Affordable Housing)

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5.3 Reigate & Banstead Borough Local Plan 2005

Trees and Landscaping	Pc4
Housing	Ho9, Ho13, Ho14, Ho16
Movement	Mo5, Mo7

5.4 Other Material Considerations

National Planning Policy Framework	
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Householder Extensions and Alterations
Other	Human Rights Act 1998

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such development is acceptable in land use terms.

6.2 The main issues to consider are:

- Impact on local character
- Neighbour amenity
- Trees and Landscaping
- Highway and parking matters
- CIL
- Affordable housing

Impact on local character

6.3 The proposal would introduce two additional dwellings to land to the rear of 48 Brighton Road and 10 Church Road. In terms of the principle of the development, it is considered that the plot sizes are of an acceptable scale within the surrounding area and are commensurate with a number of the plot and garden sizes in properties to the south. Whilst the proposal would introduce a backland form of development, whereas the existing pattern of development is one of linear frontage development along road frontages, the principle of backland development is not objectionable in policy terms subject to key criteria being met. In this case, the proposal is not considered to introduce an isolated, alien form given the site is the first garden and adjacent to the Air Balloon public house car park. Furthermore the general pattern of the proposal is not considered to be dissimilar to that established nearby between Church Road and Massetts Road.

6.4 The proposed properties have been set away from the donor properties and other properties and are at least 23.5m away from other properties in the

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locality, thereby maintaining the relatively spacious feel of this part of Brighton Road. The addition of the rear garden of 10 Church Road to the application site ensures a reasonable rear garden depth for the proposed dwellings. In order to maintain this spacious separation, a condition will be added to the permission removing the permitted development rights for future extensions and loft conversions (Classes A, B, and C of the GPDO 2015). The houses would be relatively hard to the access road thereby limiting the potential for new landscaping and the degree of spaciousness as a result but on balance this is considered acceptable.

- 6.5 The properties take their design cues from the substantial Victorian /Edwardian dwellings along Brighton Road (of which the donor property forms part of this larger group). The materials shown on the plans are in keeping with the palette of materials that are used in the donor property and it is considered pertinent to add a condition requiring the submission of the materials in order to ensure that the buildings are in keeping with the local character and the donor property.
- 6.6 Amended plans have been received reducing the first floor of the rear of the properties as well as moving the new driveway away from the donor property on Brighton Road. These changes do not impact on the character of the proposal; the impact of the proposed properties has been slightly reduced by the reduction at first floor level and the resultant reduction in roof size. The proposal is therefore considered acceptable in terms of design and character and in accordance with policies Ho9, Ho13 and Ho14 of the Reigate and Banstead Borough Local Plan 2005.

Neighbour amenity

- 6.7 As stated above, the proposed dwellings would be situated at least 23.5m from neighbouring properties. Whilst there would be a change of view from some of these properties, it is not considered that the change of outlook would cause significant harm. The properties are situated sufficient distances away from neighbouring properties to not appear dominant or overshadow there properties. In addition, the height of the proposed properties is at a lower level than the donor property and is at a similar level to the ridge heights at the houses in Church Road.
- 6.8 In the grounds of 12 Church Road, to the south of the site, is a detached single storey annexe. The rear gardens of the new plots are approximately 11.5m in depth. Whilst concern has been raised in terms of overlooking, the rear windows would look at the flat roof of the annexe. It is considered appropriate to impose a condition requiring the boundary treatment to be provided to the council before occupation in order to mitigate against noise and disturbance, as well as overlooking to the annexe. However, distances of 10 metres have commonly been deemed acceptable with regards overlooking of neighbouring garden areas and that is exceeded in this case.
- 6.9 The majority of the new dwellings' windows are positioned to the north and south of the properties. To the north are the new access drive and the car

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park of the public house. To the south are the new dwellings' gardens and then views across to other gardens in the distance. It is not considered that the views from these windows would cause a material loss of amenity to neighbouring properties due to the distances involved as well as the angles. Any first floor side facing windows are shown on the plans as obscure glazed and fixed shut (excepting a fanlight opening 1.7m above finished floor level and this is considered appropriate to condition. In addition, permitted development rights for additional windows will be removed by condition in order to control any future overlooking. On this basis the proposal is considered acceptable in terms of its impact on neighbouring amenities and in accordance with policies Ho9, Ho13 and Ho14 of the Reigate and Banstead Borough Local Plan 2005.

Trees and Landscaping

- 6.10 Due to the presence of trees along the northern boundary with the public house, the Council's tree officer has been consulted and his comments are as follows:

"I have reviewed the submitted arboricultural information which supports this current proposed development. I have viewed the site externally. The arboriculture information has been compiled in accordance with the guidelines and advice contained in British Standard 5837:2012. Trees on located off site have collective value, but as individual are regarded as being low to moderate in quality."

"Sufficient information has been supplied in respect of the suitability of retention and safeguarding of trees located off site, however there are certain areas of the submitted arboriculture information which are generic and do not provide sufficient information in respect of qualified arboricultural supervision and monitoring should the application be approved. The application details do not provide information on the service or drainage routings. It is common for these matters to be designed post decision and will need to be taken fully into consideration in respect of potential incursions into the root protection areas of trees located off site. Imposing a finalised tree protection condition will allow these factors to be taken into account by the retained arboricultural consultant and is considered to be justified and appropriate in these circumstances. I also consider that imposing a condition to secure meaningful landscape is appropriate in this instance."

- 6.11 It is considered therefore that subject to the conditions outlined above being complied with, the proposal is acceptable in its tree and landscape impacts and complies with Policy Pc4.

Highway matters

- 6.12 The proposed development has been considered by the county highway authority in terms of the likely net additional traffic generation, access arrangements and parking provision and recommends that conditions relating to the modified vehicular access, space laid out for parking, electrical car charging points and the provision of a Construction Transport Management Plan are added.

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- 6.13 The County Highway Authority has carried out a site visit and are satisfied that the proposed modified access is adequate with regards to ensuring entry and exit in forward gear with adequate visibility splays in both directions. Whilst there is no on site turning for refuse vehicles, there is already on street refuse collection and servicing already established along this stretch of Brighton Road and therefore the County Highway Authority has no objection to refuse collection for these proposed dwellings occurring on street.
- 6.14 The application would provide for two car parking spaces per dwelling and this would be acceptable and comply with policy.

CIL

- 6.15 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

Affordable Housing

- 6.16 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, the publication of the 2018 NPPF has made clear that such contributions should not be sought from non-major schemes such as this and therefore the Council is not presently requiring financial contributions from proposals such as this resulting in a net gain of fewer than 10 units.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Other Plan	PCD1299/TR02(1)		14.12.2018
Other Plan	PCD1299/TR02(2)		14.12.2018
Other Plan	PCD1299/TR02(3)		14.12.2018

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Other Plan	PCD1299/TR02(4)		14.12.2018
Other Plan	PCD1299/TR02(5)		14.12.2018
Other Plan	PCD1299/TR02(6)		14.12.2018
Other Plan	PCD1299/TR02(7)		14.12.2018
Other Plan	PCD1299/TR02(8)		14.12.2018
Other Plan	PCD1299/001		14.12.2018
Arb / TPP	TPP-02	A	14.12.2018
Arb / TPP	TPP-01	A	14.12.2018
Elevation Plan	302		14.12.2018
Proposed Plans	115		14.12.2018
Floor Plan	202		14.12.2018
Floor Plan	201		14.12.2018
Other Plan	105		14.12.2018
Location Plan	100	A	15.01.2019
Combined Plan	203		15.01.2019
Combined Plan	110	A	25.02.2019
Floor Plan	200	A	25.02.2019
Elevation Plan	300	A	25.02.2019
Elevation Plan	301	A	25.02.2019

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. No development above slab level shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

4. No development shall commence including any partial demolition or groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of any service routings. The AMS shall also include a supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA.. All works shall be carried out in strict accordance with these details when approved.

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Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan.

5. No development shall commence above slab level on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. Landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A, B, or C of Part 1 of the Second Schedule of the 2015 Order shall be constructed (other than those expressly authorised by this permission).

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13, and Ho16.

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

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18/02628/F

Reason: To ensure that the development does not affect the amenity of the neighbouring properties by overlooking and to protect the visual amenities of the area in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9.

8. No part of the development shall be first occupied unless and until the proposed modified access to Brighton Road has been constructed and provided with visibility zones in accordance with the approved plans and thereafter the visibility zones shall be kept permanently clear of any obstruction over 0.6m high.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

9. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

10. The development hereby approved shall not be occupied unless and until each of the proposed dwellings are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

11. No development shall commence until a Construction Transport Management Plan, to include details of:
 - (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) on-site turning of construction vehicles has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

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Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.
In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.
2. Your attention is drawn to the safety benefits of sprinkler systems as an integral part of new development.
3. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition (no.4) above. All works shall comply with the recommendations and guidelines contained within British Standard 5837
4. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition (no.5). Replacement planting of trees and shrubs shall be in keeping with the character and appearance of the locality and have a strong native influence . There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of semi Advanced Nursery Stock sizes with initial planting heights of not less than 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.

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5. The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, or verge to form a vehicle crossover to install dropped kerbs. www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs
6. The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
7. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
8. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
9. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicleinfrastructure.html> for guidance and further information on charging modes and connector types.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies Ho9, Ho13, Ho14, Ho16, Pc4, Mo5 and Mo7, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

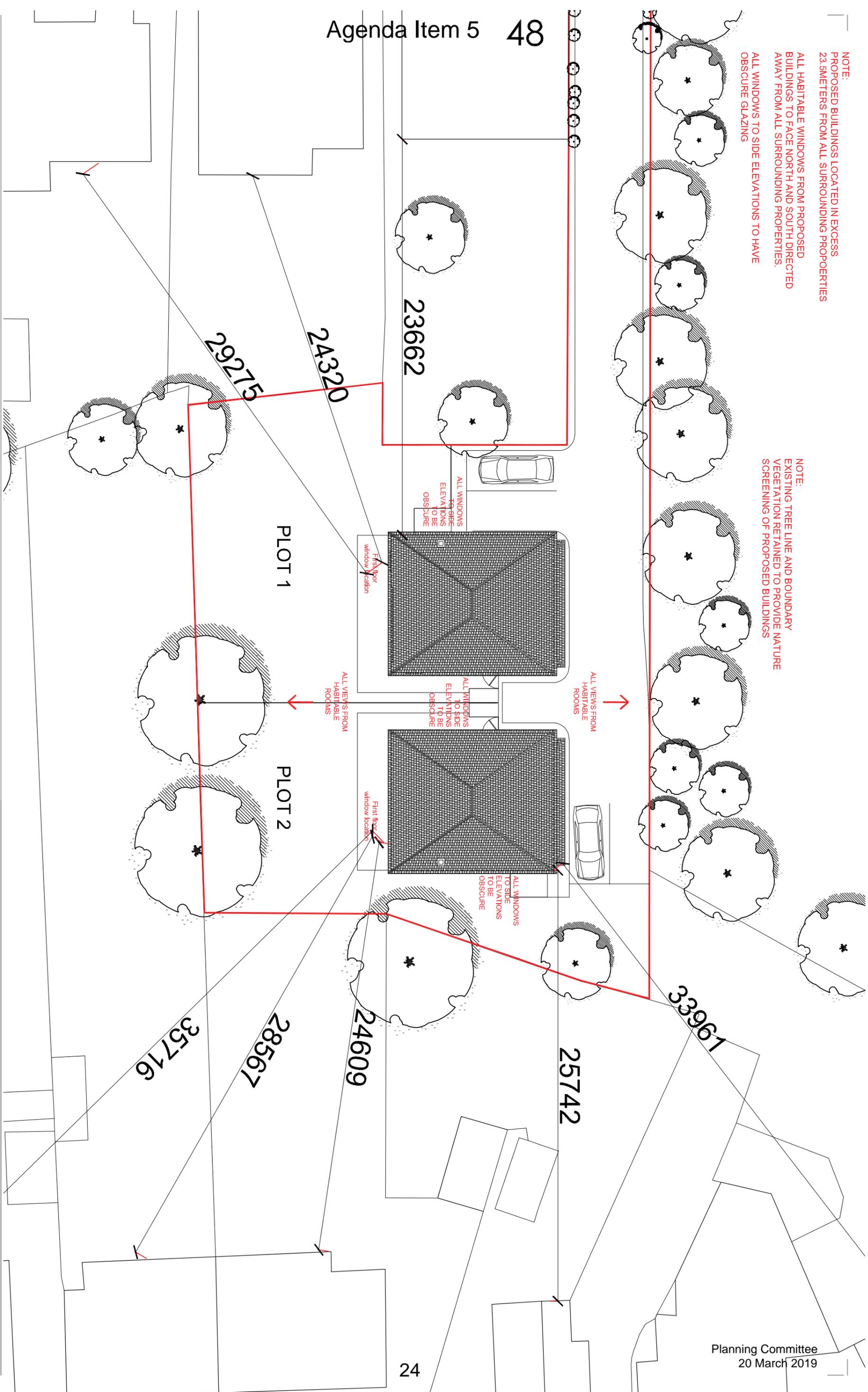
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

NOTE:
PROPOSED BUILDINGS LOCATED IN EXCESS
23.5 METERS FROM ALL SURROUNDING PROPERTIES

ALL HABITABLE WINDOWS FROM PROPOSED
BUILDINGS TO FACE NORTH AND SOUTH DIRECTED
AWAY FROM ALL SURROUNDING PROPERTIES.
ALL WINDOWS TO SIDE ELEVATIONS TO HAVE
OBSCURE GLAZING

NOTE:
EXISTING TREE LINE AND BOUNDARY
VEGETATION RETAINED TO PROVIDE NATURE
SCREENING OF PROPOSED BUILDINGS

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BENTLEYS & CARTER
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REVISION:

DESCRIPTION:

PROJECT:
2 NEW DWELLINGS AT 48 BRIGHTON ROAD, HORLEY,
SURREY RH6 7HD

JOB NO.:

AL1 - 0075

SCALE:

1/200 @ A3

DRAWING:

SITE ANALYSIS - DISTANCE TO NEIGHBOURING BUILDINGS

DRAWING NO.:

105

DATE:

SEPTEMBER 18

DRAWING STATUS:

PLANNING SUBMISSION

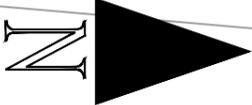
REVISION:

DRAWN BY:

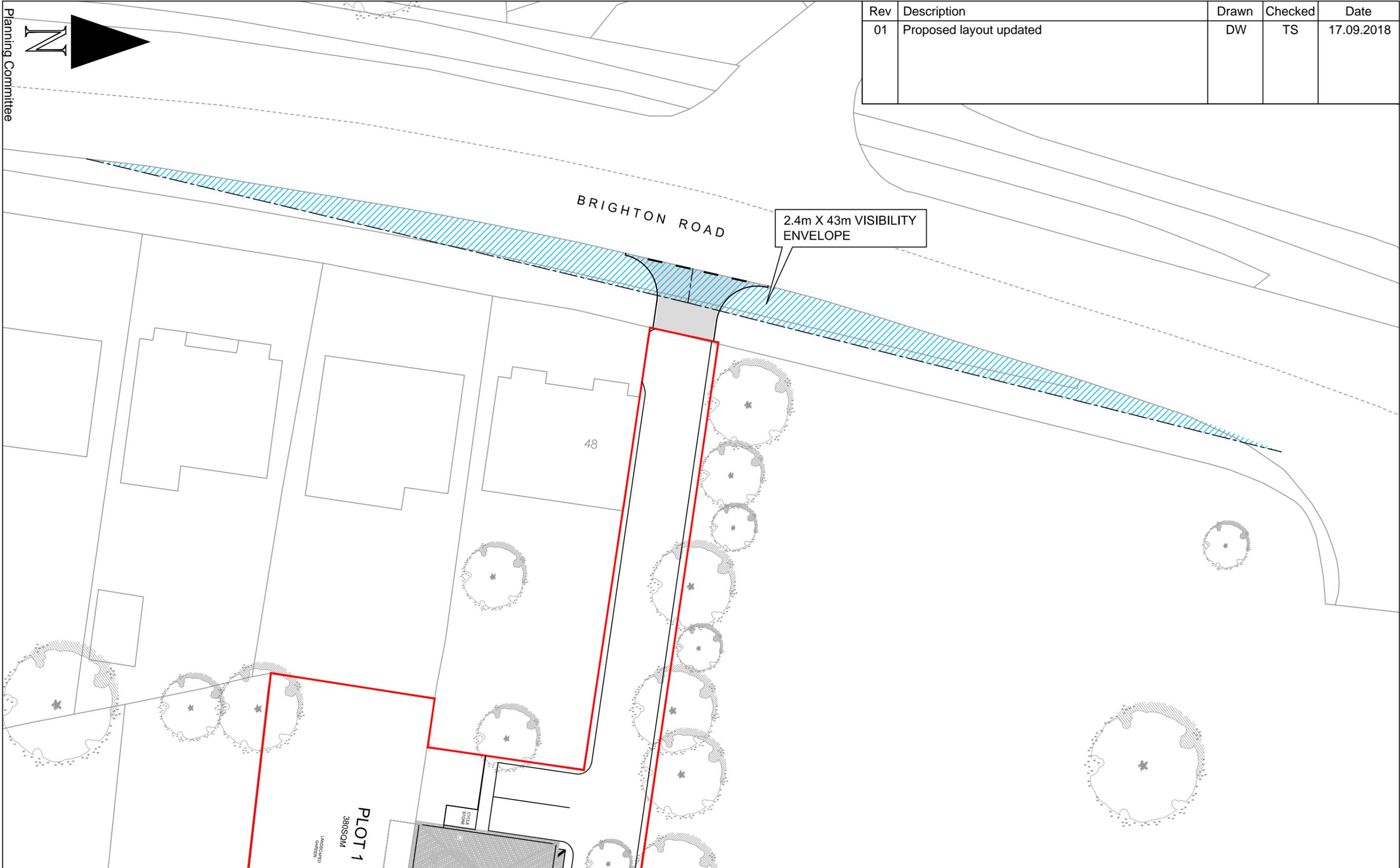
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CHECKED:

FA

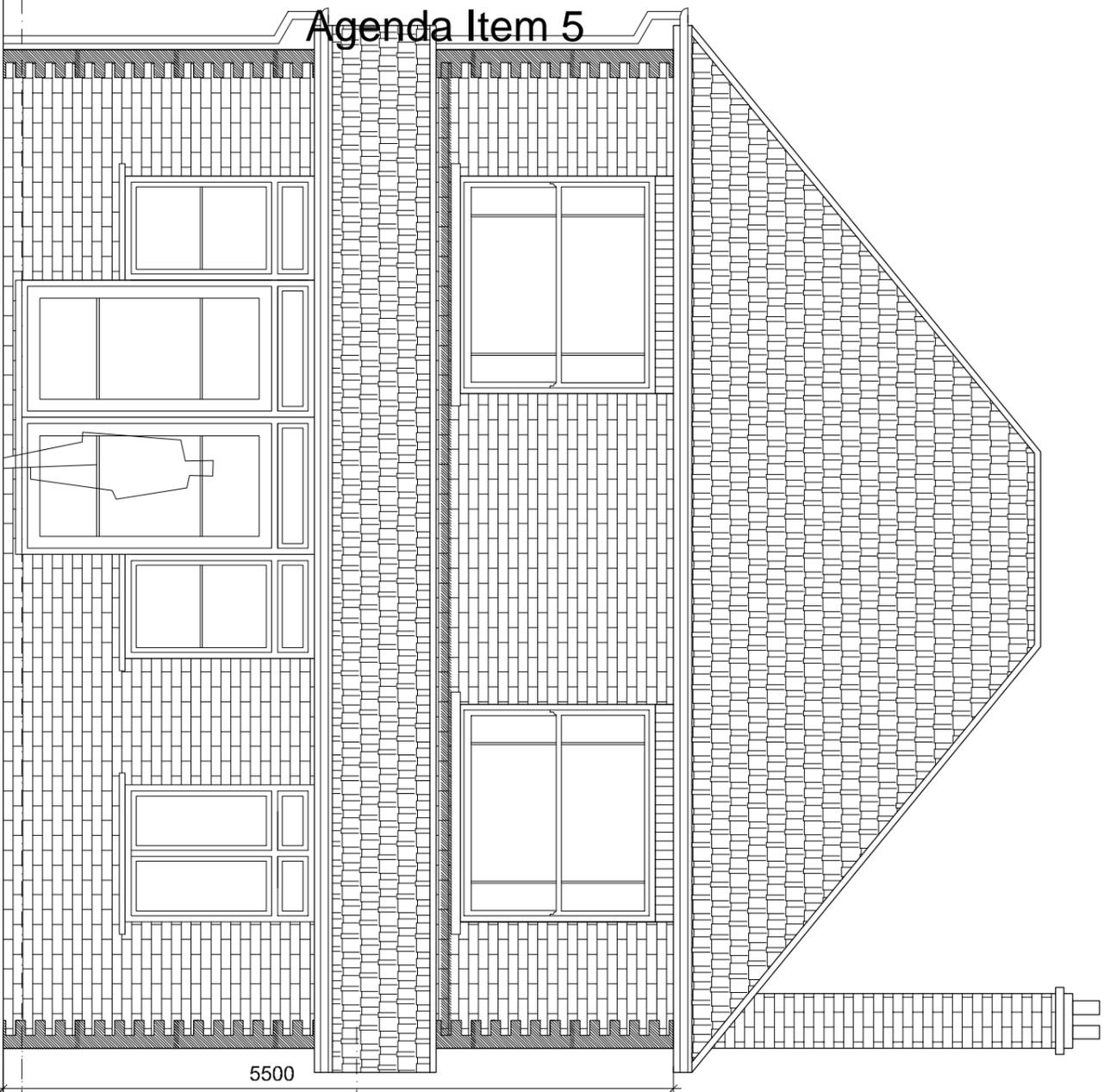


Rev	Description	Drawn	Checked	Date
01	Proposed layout updated	DW	TS	17.09.2018

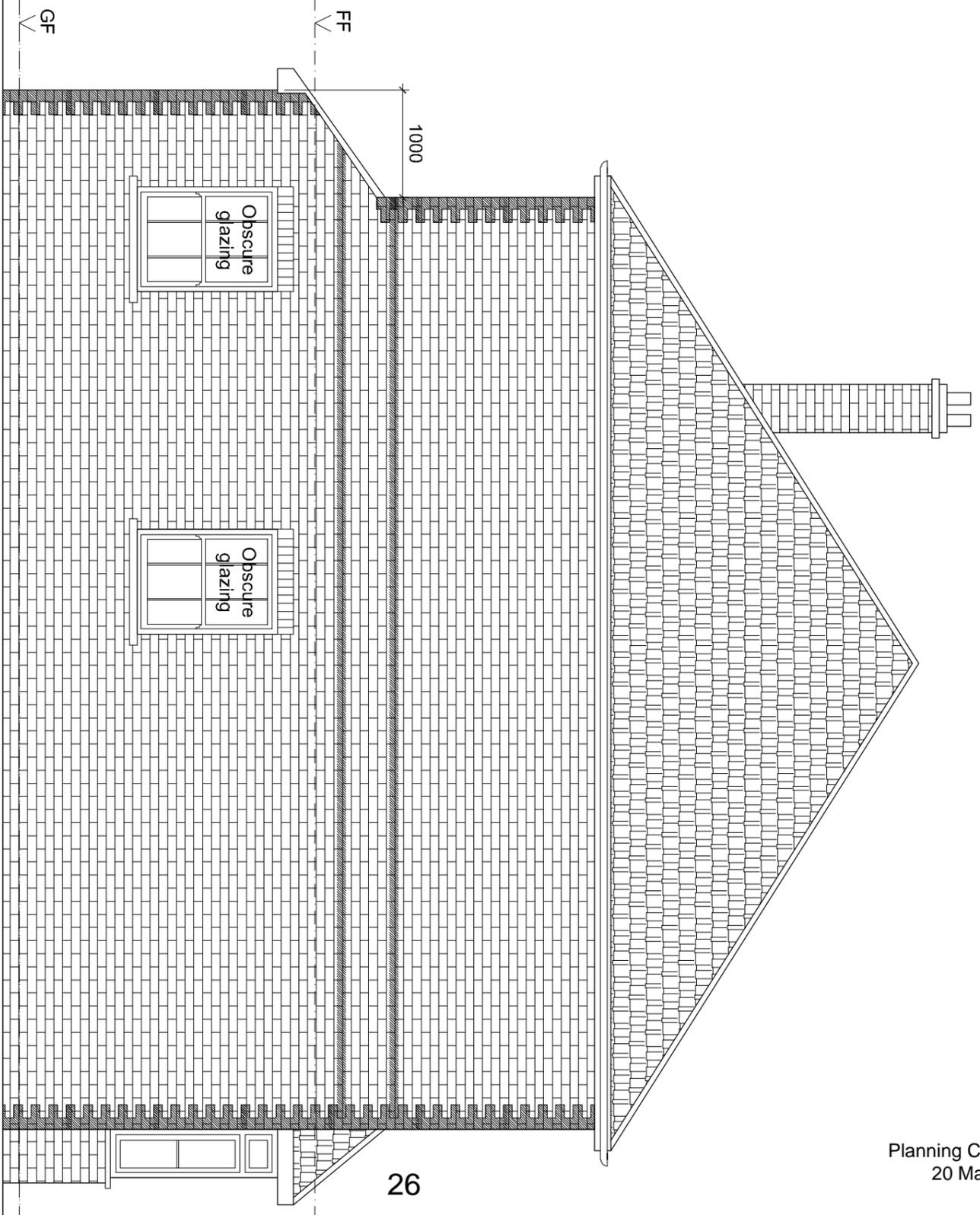


Crowd Dynamics International Ltd
Southbank Technopark
90 London Road
London SE1 6LN
Tel: +44 (0) 20 7922 8861

Project Title:	48 BRIGHTON ROAD	Drawing Title:	ACCESS VISIBILITY	Revision:	01	Drawn by:	DW	Checked by:	TS
Location:	HORLEY, SURREY	Scale:	1: 250 @ A3	Date:	12.09.2018	PCD1299/001			



REAR (SOUTH)
ELEVATION PLOT 1

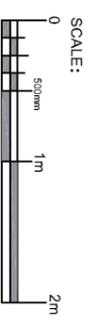


SIDE (EAST)
ELEVATION PLOT 1



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REVISION:	DESCRIPTION:	PROJECT:	JOB NO.:	SCALE:
A	FIRST FLOOR REDUCED IN DEPTH	2 NEW DWELLINGS AT 48 BRIGHTON ROAD, HORLEY, SURREY RH6 7HD	AL1 - 0075	1/50 @ A3
		DRAWING:	DRAWING NO.:	DATE:
		REAR AND SIDE WEST ELEVATIONS PROPOSED	301	SEPTEMBER 18
		DRAWING STATUS:	REVISION:	DRAWN BY:
		PLANNING SUBMISSION	A	PC
				CHECKED:
				FA



FRONT ELEVATION -
PLOT 2

FRONT ELEVATION -
PLOT 1



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REVISION : DESCRIPTION :

PROJECT :
2 NEW DWELLINGS AT 48 BRIGHTON ROAD, HORLEY,
SURREY RH6 7HD

DRAWING :
COLOURED SITE ELEVATIONS PROPOSED

DRAWING STATUS :
PLANNING SUBMISSION

JOB NO.:
AL1 - 0076

DRAWING NO.:
302

REVISION :

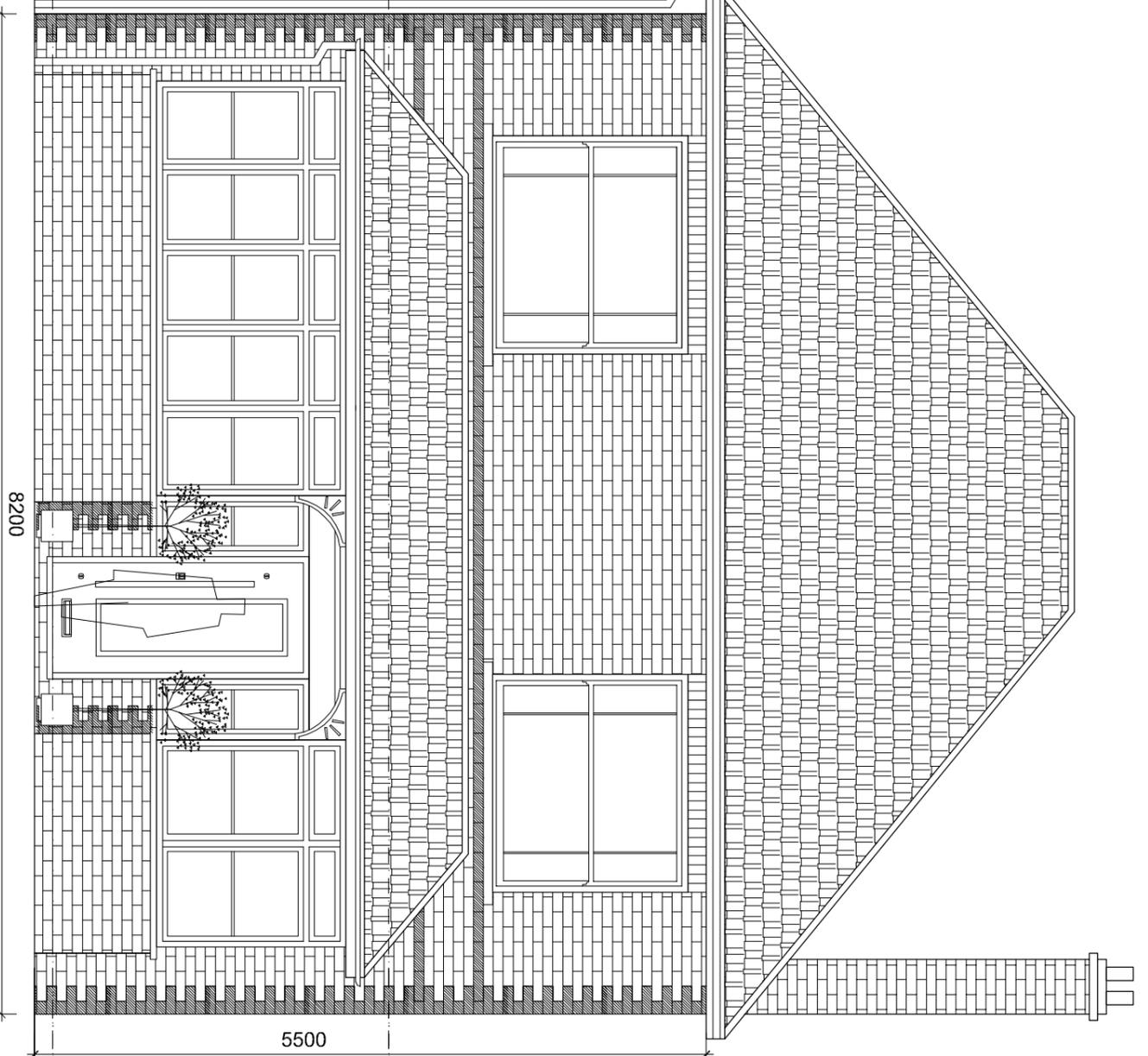
SCALE :
1/100 @ A3

DATE :
SEPTEMBER 18

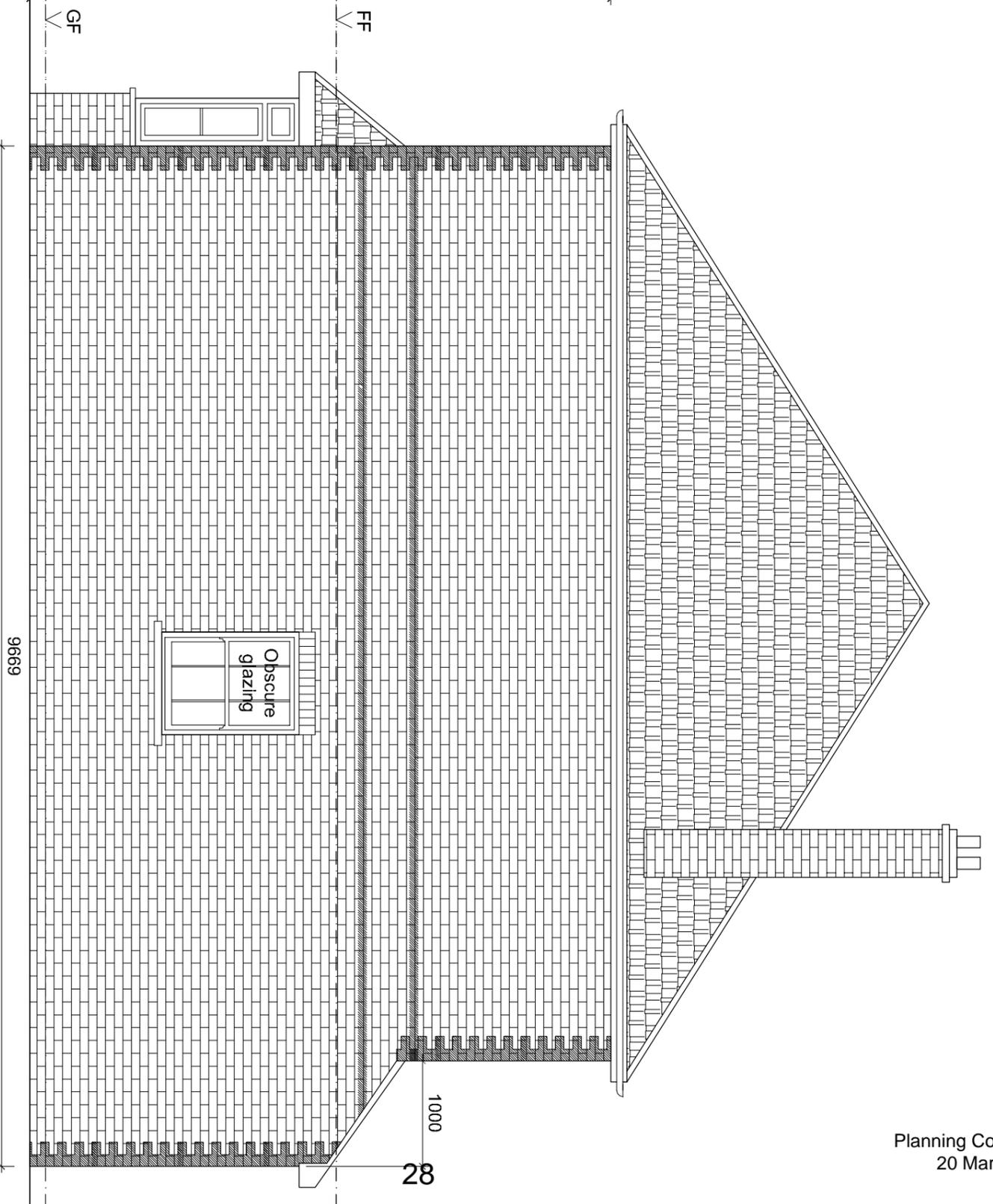
DRAWN BY : PC
CHECKED : FA

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**FRONT (NORTH)
ELEVATION PLOT 1**



**SIDE (EAST)
ELEVATION PLOT 1**



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SCALE:



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REVISION:

REVISION	DESCRIPTION
A	FIRST FLOOR REDUCED IN DEPTH

PROJECT:
2 NEW DWELLINGS AT 48 BRIGHTON ROAD, HORLEY, SURREY RH6 7HD

DRAWING:
FRONT AND SIDE EAST ELEVATIONS PROPOSED

DRAWING STATUS:
PLANNING SUBMISSION

JOB NO.:
AL1 - 0075

DRAWING NO.:
300

REVISION:
A

SCALE:
1/50 @ A3

DATE:
SEPTEMBER 18

DRAWN BY:
PC

CHECKED:
FA

Agenda Item 6

Planning Committee
20 March 2019

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18/02390/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:		PLANNING COMMITTEE
	DATE:		20 March 2019
	REPORT OF:		HEAD OF PLACES AND PLANNING
	AUTHOR:		Matthew Holdsworth
	TELEPHONE:		01737 276752
	EMAIL:		Matthew.Holdsworth@reigate-banstead.gov.uk
AGENDA ITEM:	6	WARD:	Reigate Central

APPLICATION NUMBER:	18/02390/F	VALID:	14 December 2018
APPLICANT:	Manhurley Ltd	AGENT:	
LOCATION:	77-83 BELL STREET, REIGATE		
DESCRIPTION:	Extending the roof above the rear wings of the properties providing 2 additional residential units in addition to the recent residential conversion of the existing buildings.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full application for the erection of an additional storey above the rear wings of the property providing two additional residential units (one 1 bed flat and one 2 bed flat). The existing building used to comprise offices but was converted to 16 flats without the need for planning permission under the prior approval regime. The proposal would therefore take the overall number to 18.

The design of the proposal has been amended during the course of the application to restrict the impact on the existing street scene and to have a roof design more in keeping with the existing property. The conservation officer, following these amendments, is satisfied that the proposal would not cause harm to the surrounding conservation area and the proposal would not significantly impact the existing street scene.

The proposal provides an additional three car parking spaces to the existing parking provision on site. (There are currently sixteen spaces for the sixteen flats.) The level of parking provision is considered appropriate.

An application for development of the parking area at the rear is currently at appeal although a condition is suggested requiring the parking be provided for this development, if permitted, which would prevent the combined implementation of that scheme (if allowed) and this.

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The amenities provided for the future occupants of the flats is considered acceptable in this town centre location with amenities including Priory Park in close proximity.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Highway Authority: The proposed development has been considered by the county highway authority in terms of the likely net additional traffic generation, access arrangements and parking provision and recommends that conditions relating to the closure of the existing vehicular access and the provision of a Construction Transport Management Plan are added.

SES Water: no comments received

Reigate Society: No comments received.

Conservation Officer: Following amended plans, the conservation officer raises no objection subject to conditions relating to the materials.

Surrey Archaeological Officer: As this proposal will not involve any new ground disturbance, I have no archaeological concerns.

Representations:

Letters were sent to neighbouring properties on 03 January 2019, 25 January 2019, and on 05 March. Site notices were posted on 04 January and 06 March 2019. No letters of representations have been received. Any correspondence received prior to the date of the meeting will be reported via the addendum.

1.0 Site and Character Appraisal

1.1 The site comprises 77-83 Bell Street. The buildings to the front are locally listed. The buildings were previously in office use but benefit from a change of use application for use as residential and conversion to flats which is now at an advanced state. Access to the site is via a short driveway under an arch to the front. The site is relatively flat.

1.2 The site is on the east side of Bell Street, within the Reigate Town Centre Conservation Area, and an Area for Small Businesses. The site's surroundings are characterised by a mixture of commercial and residential properties of largely similar "domestic" scale and design. To the rear of the site is open land that is owned by St Mary's School.

2.0 Added Value

2.1 Improvements secured at the pre-application stage: None, as no advice was sought.

2.2 Further improvements could be secured: Conditions will be placed on the grant of permission in regard to the materials used, construction management plan, details of bike store, space laid out for parking and a construction transport management plan.

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3.0 Relevant Planning and Enforcement History

- 3.1 02/01062/CU Change of use of warehouse/offices to dental laboratory on ground floor and first floor offices - approved with conditions
- 3.2 16/01069/PAP3O Prior approval under Class J for a change of use from offices (Use Class B1A) to dwelling houses (Use Class C3). As amended on 13/06/2016 - prior approval not required.
- 3.3 17/00847/PAP3O Notification under class O for the change of use of the ground and first floors of the above properties from office accommodation (class B1) to residential accommodation (class C3) to create a total of 16 residential flats – prior approval not required
- 3.4 18/00447/F - Alterations to the external doors and windows and associated works – approved with conditions
- 3.5 17/02732/F - Redevelopment of existing surface car park and construction of 3 no. studio flats and 3 no. 1-bed flats with associated cycle parking, refuse store and landscaping – refused – appeal under consideration.

4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of an additional floor to part of the more modern extension to the rear of the locally listed buildings to the rear of the site. It would be for two flats, in addition to the 16 permitted under 17/00847/PAP3O from the conversion of the existing offices on site.
- 4.2 Amended plans have been received which have removed the mansard style roof and have replaced this design with a traditional roof pitch with gables to the rear (eastern) and northern elevations.
- 4.3 Plans have been provided showing the location of both an integrated bike store and a bin store which has been provided for the sixteen flats currently under conversion and these two proposed flats would utilise these facilities.
- 4.4 An additional three spaces are proposed in the car parking area to the rear of the property which would give a total of 19 car parking spaces for the 18 flats.
- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
 - Assessment;
 - Involvement;
 - Evaluation; and
 - Design.

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4.6 Evidence of the applicant's design approach is set out below:

Assessment	The statement states that the site is within a conservation area and the design has evolved to take into account the materials used and the style of the proposed buildings
	The internal layout of the units is designed to achieve maximum privacy despite the proximity between the buildings. Each unit is dual aspect and where necessary, additional roof skylights are proposed to improve on the internal daylight conditions.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	<p>The proposed elevation and roof cladding was chosen to provide the effect that the proposed roof extension is an organic part of the existing building.</p> <p>The roof tiling is natural grey slate, matching the existing roof tiles and a commonly used roof tiling material in the wider context.</p> <p>The windows will be double glazed timber windows painted white, matching the existing windows on the building.</p> <p>The rest of the roof flashings and other metal works will be black aluminium matching the looks of the existing materials on the roof</p>

5.0 Policy Context

5.1 Designation

Urban Area
Reigate Town Centre Conservation Area

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS15 (Affordable Housing)

5.2 Reigate & Banstead Borough Local Plan 2005

Conservation	Pc12, Pc13
Housing	Ho9, Ho13, Ho16
Movement	Mo5, Mo7

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5.3 Other Material Considerations

National Planning Policy Framework

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Householder Extensions and
Alterations

Other

Human Rights Act 1998

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such development is acceptable in land use terms.

6.2 The main issues to consider are:

- Impact on local character and conservation area
- Neighbour amenity
- Highway and parking matters
- CIL
- Affordable housing

Impact on local character

6.3 The proposal would be constructed on top of the existing buildings and would add an additional storey to part of the building (making a total of three storeys). Due to the nature of the design of the roof extension, it would have limited impact on the street scene as it would only be slightly taller than the frontage buildings and the only view of them would be from a distance if situated in Priory Park. The view from the street of the proposed development would be negligible. Whilst there would be views from the rear, due to the distance from public footpaths and the substantial tree, the view of the new extension would be relatively limited.

6.4 The surrounding properties are a mixture in height of between 2-3 stories generally in this location. It is considered therefore that in terms of the additional height of the building, this would not cause serious or material harm from the character of the area. The proposal would be sited sufficiently away from front of the property and due to its location would make a minimal impact on the street scene and the wider character.

6.5 In terms of design, the building would have eaves and ridge heights similar to the frontage buildings. The scale of the building in terms of its width, length, height and massing would be in keeping with the wider area.

6.6 The proposal is within the Reigate town centre conservation area (and adjacent to the Chart Lane conservation area to the rear which is contiguous

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with the Reigate town centre conservation area.) The conservation officer has been consulted throughout the application and following amendments to the proposal has no objections to the scheme subject to a condition relating to the materials used, in order that the proposal is acceptable in its appearance in the conservation area.

Neighbour amenity

- 6.7 The properties to the north and south are commercial properties, the property to the north is a yoga studio, and to the south is a wine bar with a beer garden and a late licence. As the proposal is to the northern part of the site, and some distance away from the southern boundary, it is not considered materially harmful to that property. Whilst there are south facing windows proposed, these would overlook the other roofs of the existing property.
- 6.8 The property to the north (no.75), which consists of a yoga studio to the rear and a café to the front with offices above, would not be significantly harmed in terms of amenity from the proposal. The proposed additional north facing windows would overlook the roof of no. 75 and there would be minimal mutual overlooking. Any noise and disturbance impacts resulting to neighbours of the below flats would be a matter for consideration in the building regulations requirements for conversion. The impact on the amenities of neighbouring properties is therefore considered acceptable.
- 6.9 The flats are considered of sufficient size to provide an acceptable level of amenity for the future occupiers and the town centre location with Priory Park opposite is considered to give an overall good amenity provision for a town centre location.

Highway matters

- 6.10 The County Highway Authority has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and recommends that conditions relating to the space being laid out for parking and a construction transport management plan are imposed on the decision notice.
- 6.11 Three additional car parking spaces are being provided for the two flats which is compliant with policy and would be secured by condition. The impact of this condition would prevent the development to the rear being capable of implementation (if allowed at appeal), without a further consent or variation of condition being achieved which would be subject to its own consideration.
- 6.12 Whilst the County Highway Authority have no objection to the proposed location of the cycle store, from the plans submitted it is not clear how the cycle store will be accessed. The County Highway Authority would want to ensure that any doors to the bike store do not open out onto the pavement. Ideally the bike store should be accessed from within the development site only. Therefore, a more detailed plan of the proposed bike store detailing this should be submitted and is requested by condition.

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CIL

- 6.13 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

Affordable Housing

- 6.14 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, the publication of the 2018 NPPF has made clear that such contributions should not be sought from non-major schemes such as this and therefore the Council is not presently requiring financial contributions from proposals such as this resulting in a net gain of fewer than 10 units.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Roof Plan	PL_002		15.11.2018
Elevation Plan	PL_031		15.11.2018
Elevation Plan	PL_032		15.11.2018
Section Plan	PL_303		15.11.2018
Floor Plan	PL_102	01	25.02.2019
Floor Plan	PL_103	01	25.02.2019
Elevation Plan	PL_301	01	25.02.2019
Elevation Plan	PL_302	01	25.02.2019
Location Plan	PL_001	01	05.03.2019
Site Layout Plan	PL_050	01	05.03.2019

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

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Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. Notwithstanding the drawings, the proposed external finishing materials and details shall be carried out using the external facing materials and details specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority:
- a) The roofs shall be of natural slate with Staffordshire blue clay ridge tiles.
 - b) All windows shall be vertically sliding sash windows.
 - c) The walls shall be of brick to match existing.
 - d) All bargeboards shall be straight edges without boxed ends.
 - e) This permission only relates to roof level works and does not supersede requirements and conditions in relation to previous applications including Batswing Cottages.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13 and Pc4.

4. Notwithstanding the submitted plans, the development hereby approved shall not be first occupied unless and until the following facilities have been provided in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for:
- (a) The secure parking of bicycles within the development site, and thereafter the said approved facilities shall be provided, retained and maintained to the satisfaction of the Local Planning Authority.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

5. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

6. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials

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(c) storage of plant and materials has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

2. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
3. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148,149).
4. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of

Agenda Item 6

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20 March 2019

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18/02390/F

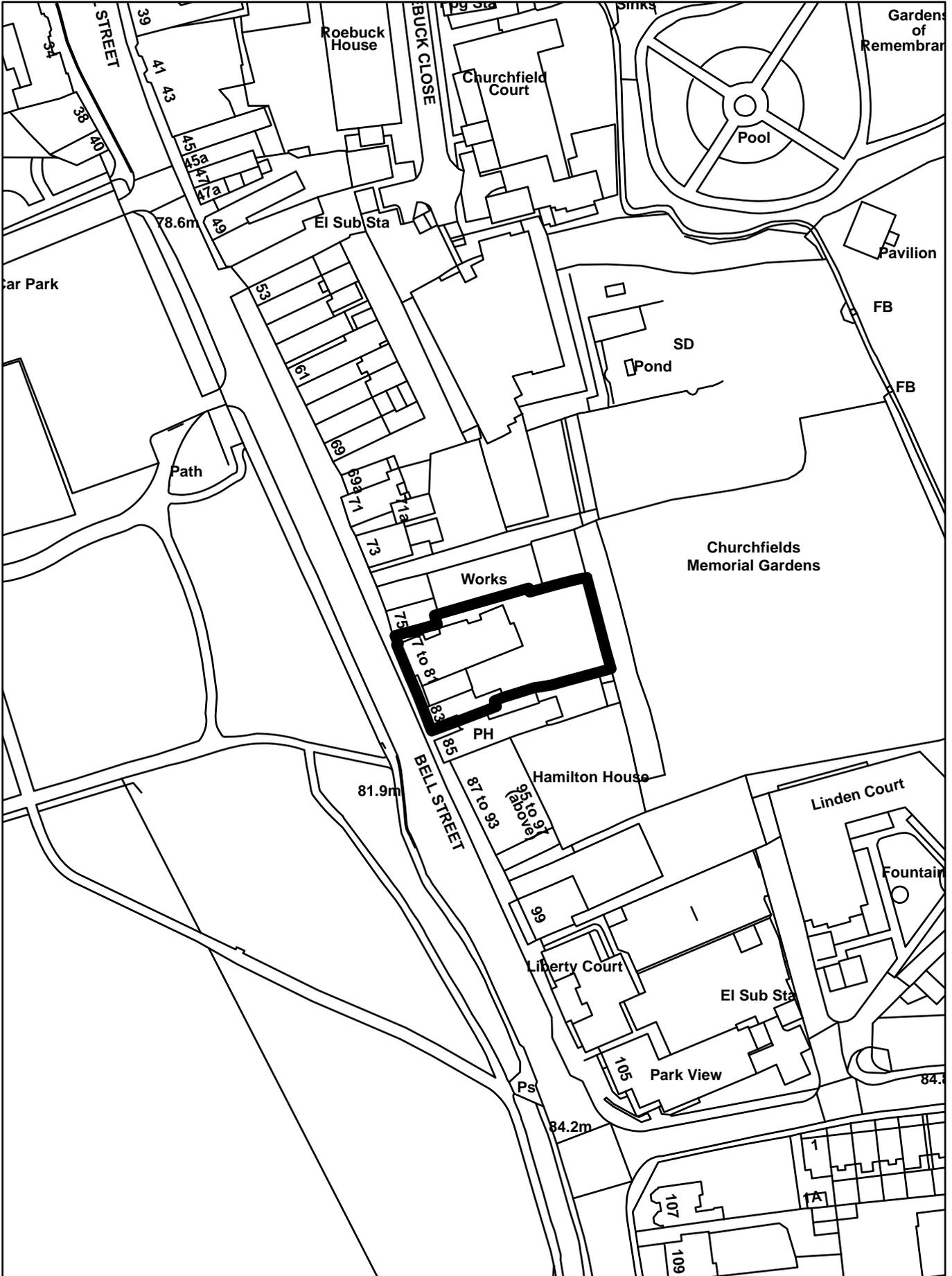
vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.

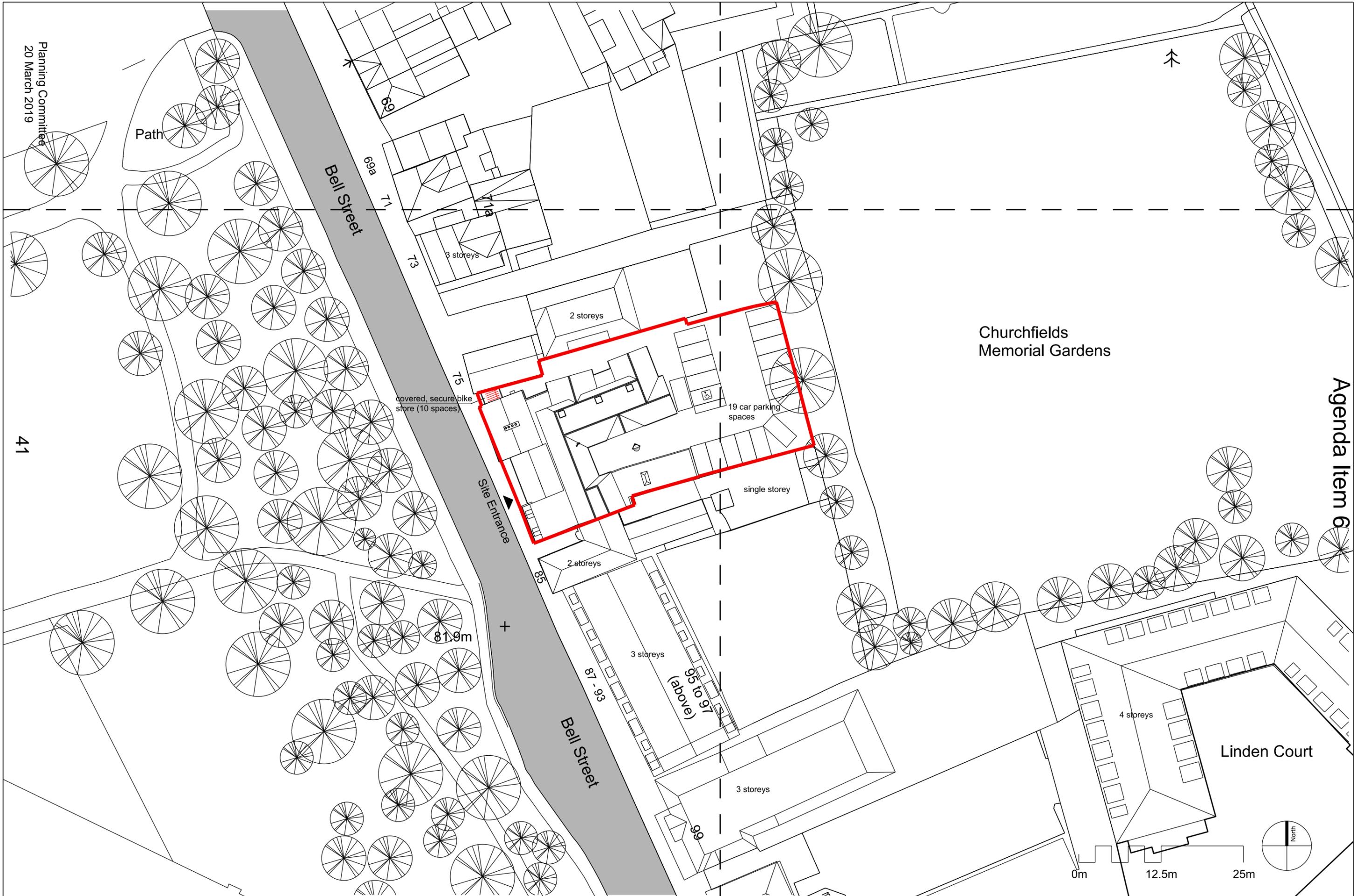
REASON FOR PERMISSION

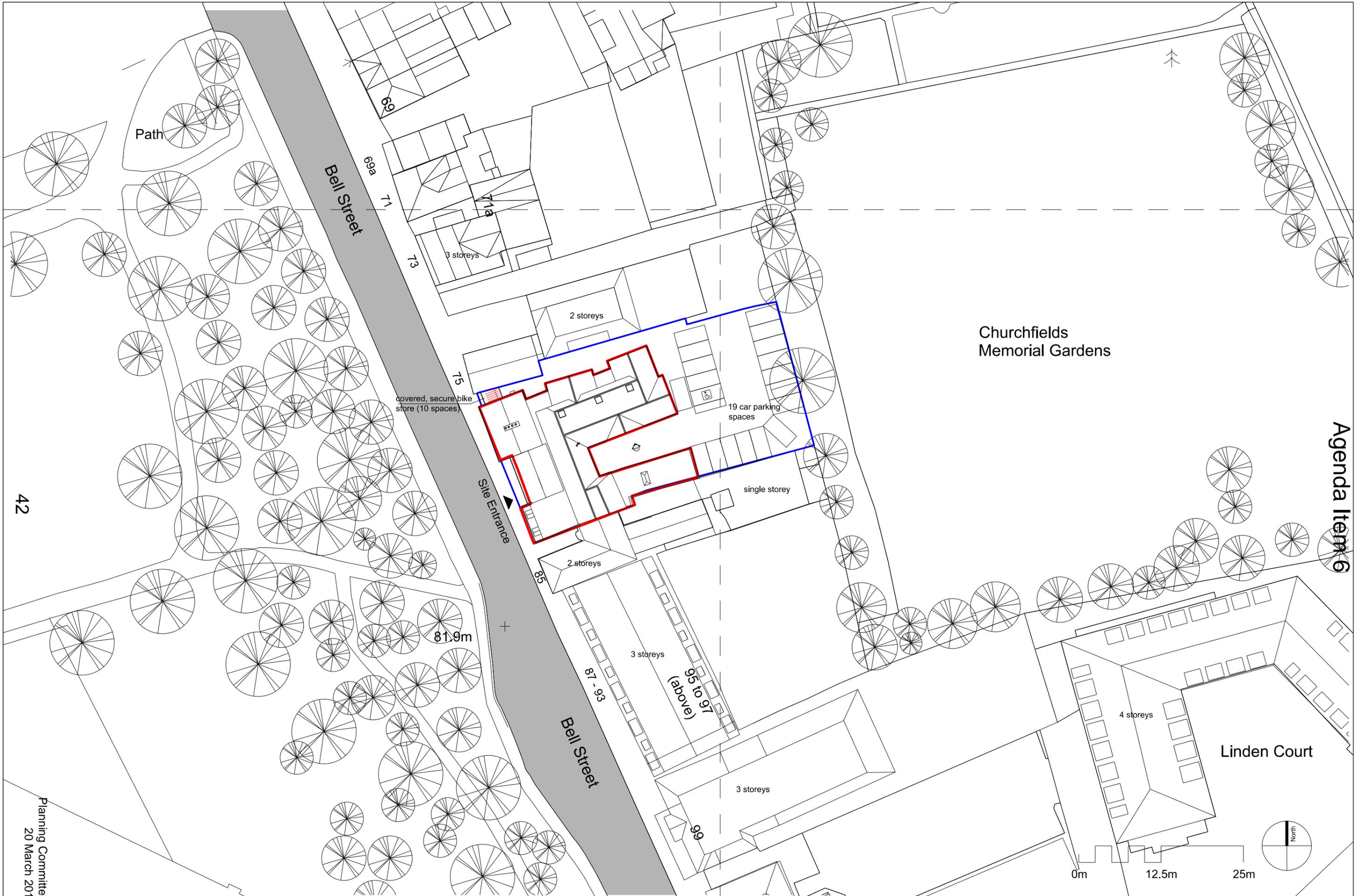
The development hereby permitted has been assessed against development plan policies Ho9, Ho13, Ho14, Ho16, Pc12, Pc13, Mo5 and Mo7, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

Agenda Item 6
18/02390/F - Park House, 77 - 83 Bell Street, Reigate







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20 March 2019

RnH

Produced by:
RnH Architects Ltd
Kemp House, 152 City Road, London EC1V 2NX

Client:
Manhurley Ltd
1 Berkeley Street, London W1J 8DJ

Project:
Bell Street
77-83 Bell Street, Reigate, RH2 7AN

Drawing Title:
**Proposed Site Plan
PLANNING APPLICATION**

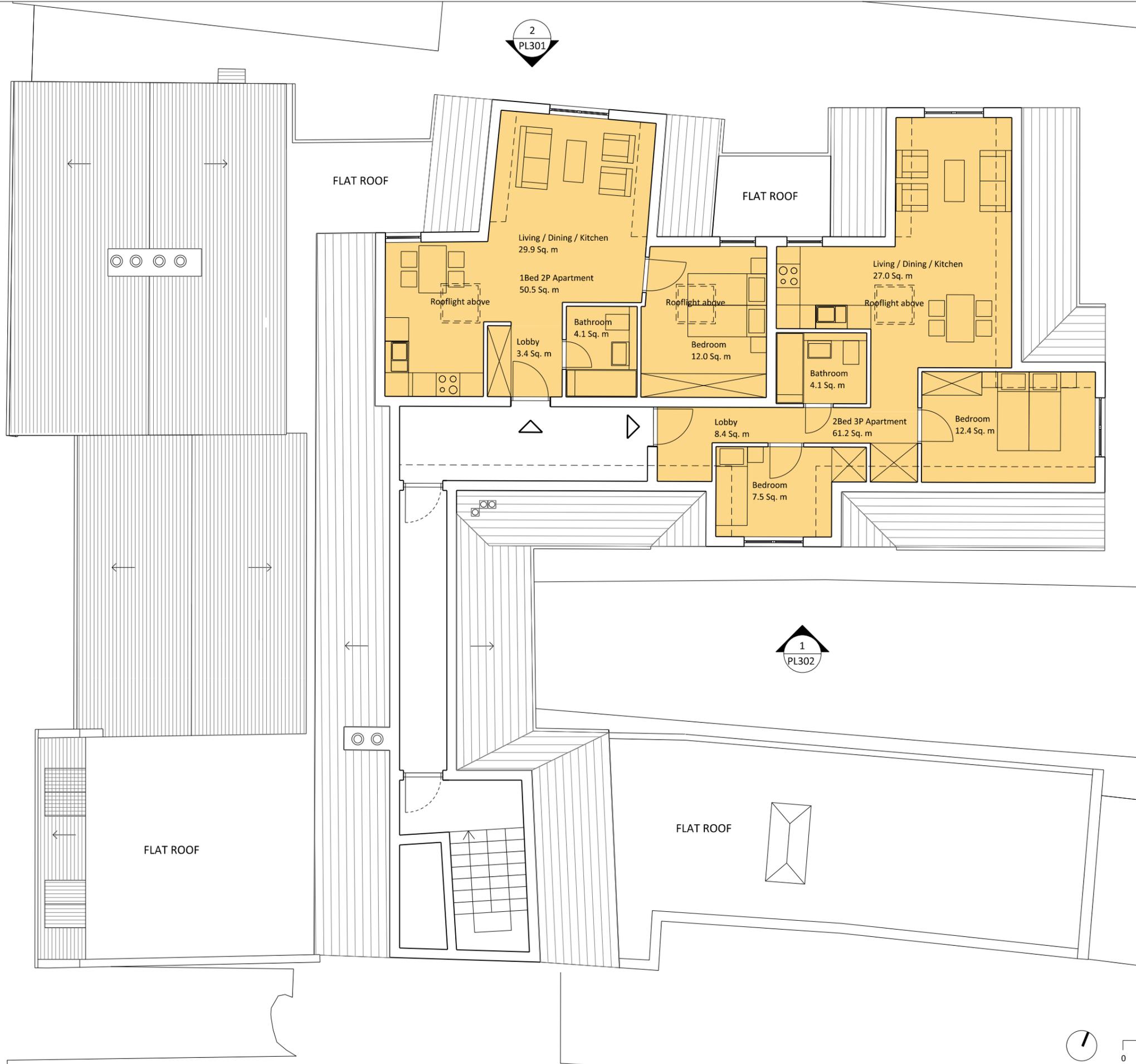
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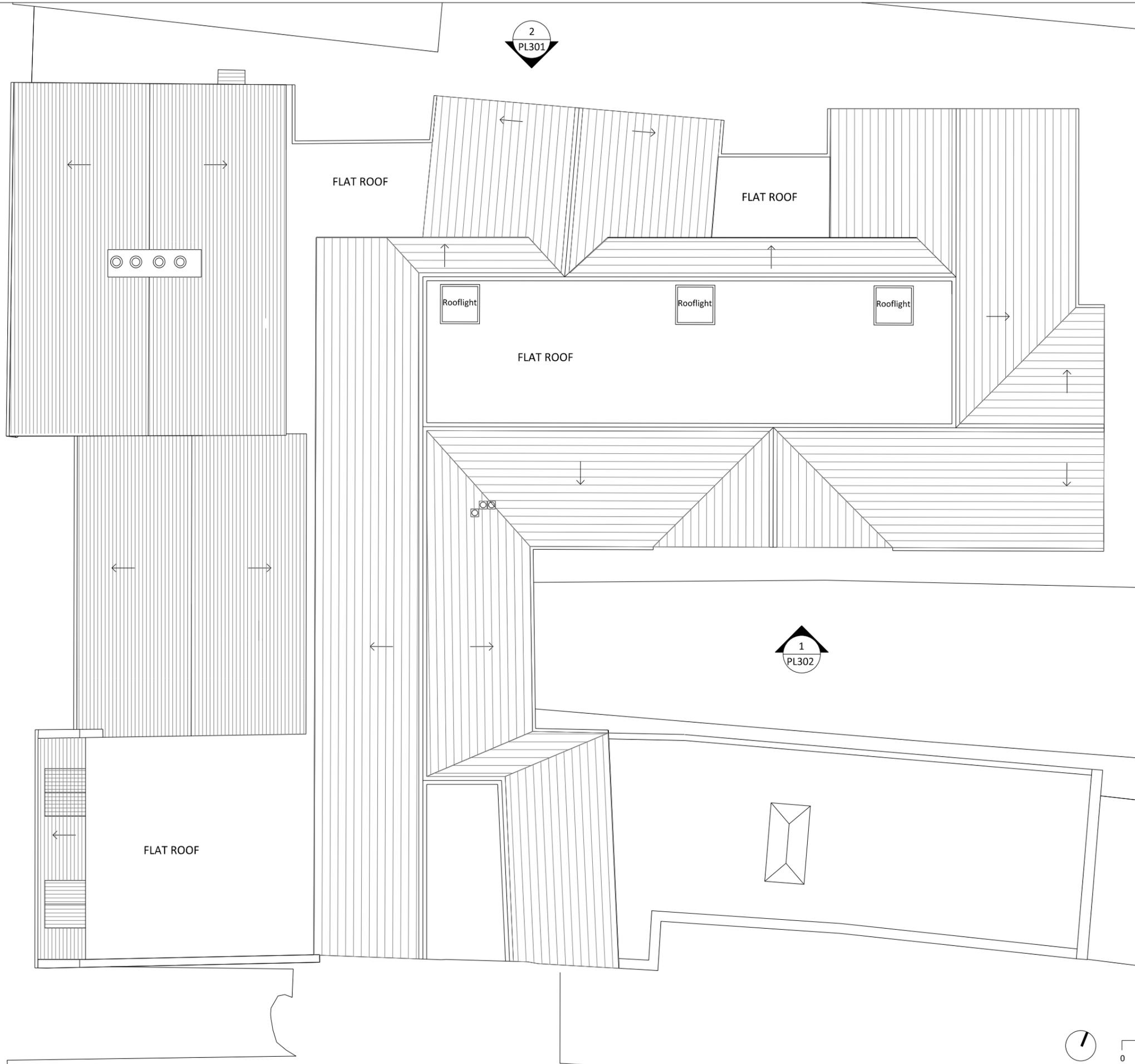
Scale @ A3:
1:500

Date of First Issue:
19.02.2019

Drawing No:
PL_050

Revision:
01





Produced by:
RnH Architects Ltd
 Kemp House, 152 City Road, London EC1V 2NX

Client:
Manhurley Ltd
 1 Berkeley Street, London W1J 8DJ

Project:
Bell Street
 77-83 Bell Street, Reigate, RH2 7AN

Drawing Title:
Proposed roof plan
PLANNING APPLICATION

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Scale @ A3:
1:100

Date of First Issue:
19.02.2019

Drawing No:
PL_103

Revision:
01



01 West Elevation
1:100

- Material Key:
- 1 Roof tiles to be natural grey slate
 - 2 Timber windows painted white with double glazing
 - 3 Black aluminium gutters
 - 4 Black aluminium downpipes



02 North Elevation
1:100





01 South Elevation
1:100

46



East Elevation
1:100

Material Key:

- 1 Roof tiles to be natural grey slate
- 2 Timber windows painted white with double glazing
- 3 Black aluminium gutters
- 4 Black aluminium downpipes



Agenda Item 7

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19/00279/HHOLD

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	20 March 2019
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Clare Chappell
	TELEPHONE:	01737 276004
	EMAIL:	Clare.Chappell@reigate-banstead.gov.uk
AGENDA ITEM:	7	WARD: Tadworth And Walton

APPLICATION NUMBER:	19/00279/HHOLD	VALID:	11/02/2019
APPLICANT:	Mr & Mrs B Paul	AGENT:	Mr Alex Coleman
LOCATION:	48 CHAPEL ROAD, TADWORTH		
DESCRIPTION:	4.5 metre-deep single-storey rear extension.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the applicants are related to a Borough Councillor

SUMMARY

The application seeks permission for the demolition of an existing conservatory and the construction of a single storey rear extension. This application is very similar to the previous permission granted in October 2018. The latest design has a steeper and taller roof.

The proposed extension would have a conventional design and would not be visible from the front of the property or from wider public viewpoints, and therefore is not considered to affect to the character of the area.

The proposed extension would result in additional built form alongside the boundary with the adjoining semi-detached property. However, this adjoining property already has a conservatory and so the proposed relationship between buildings is not considered to give rise to a harmful loss of amenity.

The other adjacent property is set-back further than the application property, and consequently, the proposed extension would not result in any change to light, outlook or privacy to the other adjoining property.

The proposal is therefore considered acceptable and compliant with policy and guidance.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Tadworth & Walton Residents Association: No response.

Banstead Common Conservators: No response.

Representations:

Letters were sent to neighbouring properties on 12 February 2019. No representations have been received.

1.0 Site and Character Appraisal

- 1.1 The dwelling is a two storey semi-detached house set in a modest plot. The house appears on the 1935 historic map. There are no significant trees likely to be affected by the proposed development. The site is relatively flat.
- 1.2 The surrounding area is characterised by a mixture of properties in terms of architectural style and age. The house is well set-back from the road with an area of common land in front of the residential curtilage.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The opportunity did not arise because the applicant did not approach the Local Planning Authority before submitting the application. However, an application for a non-material amendment was made for the changes to the previous Householder permission and the applicant's agent was advised that the changes were considered material rather than non-material, and therefore required a new planning application or a section 73 application.
- 2.2 Improvements secured during the course of the application: None – the scheme is considered acceptable as submitted.
- 2.3 Further improvements could be secured: A condition will be placed on the grant of permission to ensure that materials are similar in appearance to those used on the existing house.

3.0 Relevant Planning and Enforcement History

18/01529/PDE - Single storey rear extension. 4.5m from rear wall. 3.5m height. 2.8m height at eaves. WITHDRAWN (did not comply with permitted development criteria).

18/01490/CLP - Flank wall and miscellaneous internal alterations. PERMITTED DEVELOPMENT

18/01721/HHOLD - 4.5 metre-deep single-storey rear extension. APPROVED WITH CONDITIONS.

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18/01721/NMAMD1 - Raising of Bedroom 4 ensuite wc to allow increase in roof pitch to approx. 15degrees. 3no. Velux rooflights to proposed roof. REFUSED.

Please note, there is no planning history for the existing conservatory but aerial photographs indicate it has been in existence since 2003 (and is therefore lawful through the passage of time if not permitted development).

4.0 Proposal and Design Approach

4.1 The proposal is for a single storey rear extension which would extend across almost the full-width of the original rear wall and would project 4.5m / 5.0m from the stepped original rear wall. It would have a rectangular footprint and a shallow pitch, lean-to tiled roof with three rooflights. There would be a window and glazed doors to the rear elevation and a side facing window to the west elevation. The scheme would be identical to the previous permission 18/01721/HHOLD apart from the following differences:

- (i) The roof height would be raised at its juncture with the main house (so its pitch increases by 15 degrees approx.)
- (ii) The above (i) would require a slight re-positioning of the WC rear facing window.
- (iii) Change to size, position and number of rooflights (3no. roof lights instead of 2no.).

5.0 Policy Context

5.1 Designation
Urban Area

5.2 Reigate and Banstead Core Strategy
CS4 (Valued Townscapes and Historic Environment)

5.3 Reigate & Banstead Borough Local Plan 2005
Housing Ho9, Ho13, Ho16

5.4 Other Material Considerations

National Planning Policy Framework

Supplementary Planning Guidance Householder Extensions and Alterations 2004

Other Human Rights Act 1998

6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development.

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6.2 The main issues to consider are:

- Design and effect on the character of the area
- Neighbour amenity

Design and effect on the character of the area

6.3 The extension would be to the rear of the house and not visible from Chapel Road or other public viewpoints and so it would not be harmful to the character of the local area. Furthermore, its form is fairly conventional for a single storey rear extension and, in my view, would not be detrimental to the aesthetic of the rear elevation of the property. I acknowledge that the extension is deeper than the 3.3m recommended by the Council's SPG on Householder Extensions and Alterations with a maximum projection of 5.0m approx. from the original rear wall. However, the acceptability of the scale of the extension is more of a neighbour amenity concern (see section below), rather than a design concern as the building and plot are considered to be of sufficient size to accommodate the proposed extension without it appearing as an overdevelopment.

6.4 The extension would be built in materials of a similar appearance to those used on the main house. The application form specifies concrete interlocking tiles rather than the plain clay tiles which exist on the main roof. I consider that it would be possible to source interlocking concrete tiles which have a similar appearance to plain clay tiles, and that this would be adequate given the inconspicuous position at the rear of the house.

6.5 Overall, the proposal is considered acceptable in terms of its design and character impact and accords with policies Ho9, Ho13 and Ho16 of the Borough Local Plan 2005 and the Council's SPG 2004.

Neighbour Amenity

6.6 The detached house at no.50 Chapel Road is sited further back than the application house (no.48) (i.e. its rear elevation is 5.0m approx. deeper relative to the original rear wall of no.48. Currently, the patio area at no.48 is flanked by the windowless side elevation of no.50. The proposed extension would be 4.5m deep on this side and would not extend any deeper than the rear building line at no.50. It follows, therefore, that there would be no issues of overshadowing or loss of outlook with respect to the rear facing accommodation or garden at no.50.

6.7 The adjoining semi-detached house at no.46 Chapel Road would notice an increase to the built form alongside the common boundary. The existing conservatory at no.48 extends approx. 3.3m alongside the boundary and then a further 1.0m approx. but this additional depth is stepped away from the boundary by virtue of the chamfered corners of the conservatory. The proposed extension would have a straight flank wall extending 5.0m alongside the common boundary. The roof of the existing conservatory is hipped away from the boundary, whereas the proposed extension would create a gable wall (with no hipped roof profile) alongside the boundary.

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- 6.8 No.46 has an existing conservatory alongside the common boundary. This extends approx. 2.5m alongside the boundary and then a further 0.8m approx. but this additional depth is stepped away from the boundary by virtue of the chamfered corners of the conservatory.
- 6.9 The Council's SPG on Householder Extension and Alterations prescribes a 3.3m depth limit for extensions on semi-detached houses. This limit is important in terms of the impact on the rear facing windows/accommodation at the semi-detached neighbour. Given that the difference in depth between the rear elevation of the conservatory at no.46 and the proposed rear elevation of the extension at no.48 would be 2.5m (at the worst position at the back of the chamfered corner), I do not consider the extension would result in a harmful loss of light or outlook to the rear elevation of the conservatory at no.46. Furthermore, the 45 degree assessment (section 4.4 of the Council's SPG) would pass in the horizontal and vertical planes, thus indicating that there would not be a significant loss of light the rear facing elevation of the conservatory at no.46.
- 6.10 The proposed gable wall alongside the boundary at no.46 would be larger and taller (relative to the previously approved scheme) due to the increase in roof pitch. However, I consider this increase to be slight and also concentrated towards the main rear walls of the houses, away from the chief, rear facing elevation of the conservatory at no.46. Hence, the current proposed roof arrangement does not give rise to a neighbour amenity issue.
- 6.11 The proposed extension would only include ground floor windows and therefore does not pose any overlooking or privacy concerns to either neighbouring property.
- 6.12 In summary, while giving rise to a degree of change in the relationship between buildings, the proposed scheme would not adversely affect the amenity of neighbouring properties, and complies with policies Ho9, Ho13 and Ho16 of the Borough Local Plan 2005 and the Council's SPG 2004.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	01806-001		11.02.2019
Block Plan	01806-002		11.02.2019
Block Plan	01806-003		11.02.2019
Floor Plan	01806-010		11.02.2019
Floor Plan	01806-011		11.02.2019
Roof Plan	01806-013		11.02.2019
Elevation Plan	01806-014		11.02.2019
Elevation Plan	01806-015		11.02.2019
Floor Plan	01806-030	B	11.02.2019
Floor Plan	01806-031	B	11.02.2019
Roof Plan	01806-033	B	11.02.2019
Elevation Plan	01806-034	B	11.02.2019
Elevation Plan	01806-035	B	11.02.2019

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Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. The materials to be used in the construction of the external surfaces of the extension (other than materials used in the construction of a conservatory) must be of a similar appearance to those used in the construction of the exterior of the existing building.

Reason:

To ensure that the development hereby permitted is only constructed using the appropriate external facing materials or suitable alternatives in the interest of the visual amenities of the area with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

REASON FOR PERMISSION

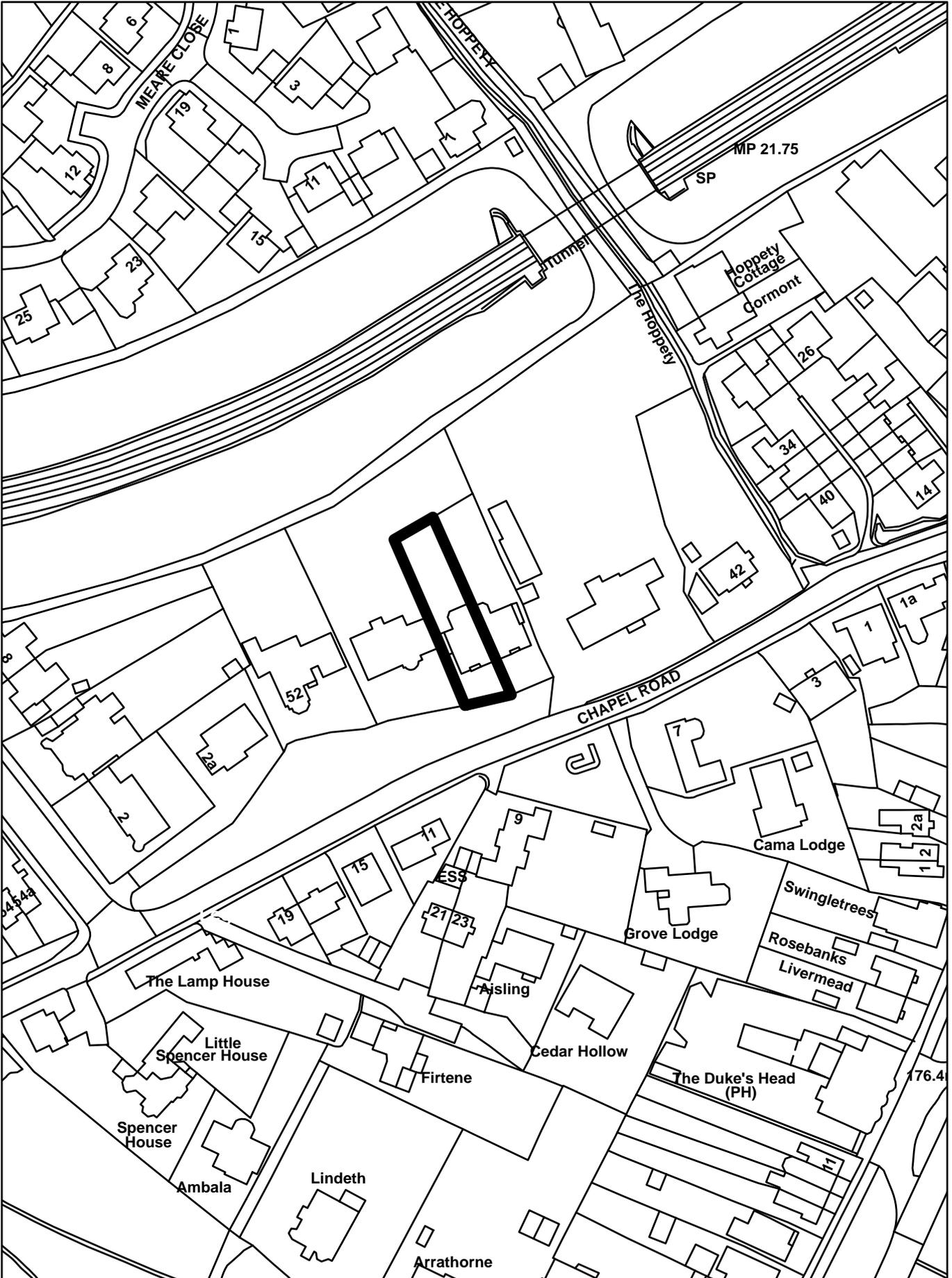
The development hereby permitted has been assessed against development plan policies Ho9, Ho13, Ho16 and CS4 and material considerations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

19/00279/HHOLD - 48 Chapel Road, Tadworth

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General Notes

This drawing shall not be scaled.

All dimensions shall be checked on site prior to commencing the works and errors and omissions to be reported to the Architectural Designer.

All works shall conform to the current edition of the Building Regulations and other statutory requirements.

All materials and workmanship shall conform with the relevant British Standard Specifications and Code of Practice.

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Planning Committee
20 March 2019

REVISION	DESCRIPTION	DATE
CLIENT MR AND MRS B. PAUL		
CONTRACT HOUSE EXTENSION & ALTERATIONS, 48 CHAPEL ROAD, TADWORTH, SURREY KT20 5SB		
DESCRIPTION BLOCK PLAN		
 <small>40 Copse Edge Avenue, Epsom, Surrey KT17 4H5 Tel: 01372 742535 Email: alex@alexc Coleman.com www.alexc Coleman.com</small>		
SCALE: 1:500@A3		DATE: 07/05/18
DRAWN AJC	DRAWING No. 01806-003 PLANNING	REVISION -
<small>PLOT DATE = 07/05/2018</small>		

General Notes:

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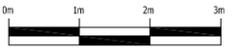
All works shall conform to the current edition of the Building Regulations and other statutory requirements.

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Loft 5.910

First floor 3.050

Ground floor 0.000



REAR ELEVATION
(North West)

No.46

No.48

No.50

EXTENSION

55

Loft 5.910

First floor 3.050

Ground floor 0.000



CHAPEL ROAD

SIDE ELEVATION
(South West)

No.48

EXTENSION

B	Extension roof pitch increased to approx 15 degrees Addition of 3no. Velux rooflights	29/02/16
REVISION	DESCRIPTION	DATE
CLIENT MR AND MRS B. PAUL		
CONTRACT HOUSE EXTENSION, 48 CHAPEL ROAD, TADWORTH, SURREY KT20 5SB		
DESCRIPTION ELEVATIONS 2 - PROPOSED		
 <small>40 Copse Edge Avenue, Epsom, Surrey KT17 4H5 Tel: 01372 742535 Email: alex@alexcoleman.com www.alexcoleman.com</small>		
SCALE: 1:50@A1; 1:100@A3	DATE 07/05/18	
DRAWN AJC	DRAWING No. 01806-035 PLANNING	REVISION B
PLOT DATE = 01/01/2019		

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All materials and workmanship shall conform with the relevant British Standard Specifications and Code of Practice.

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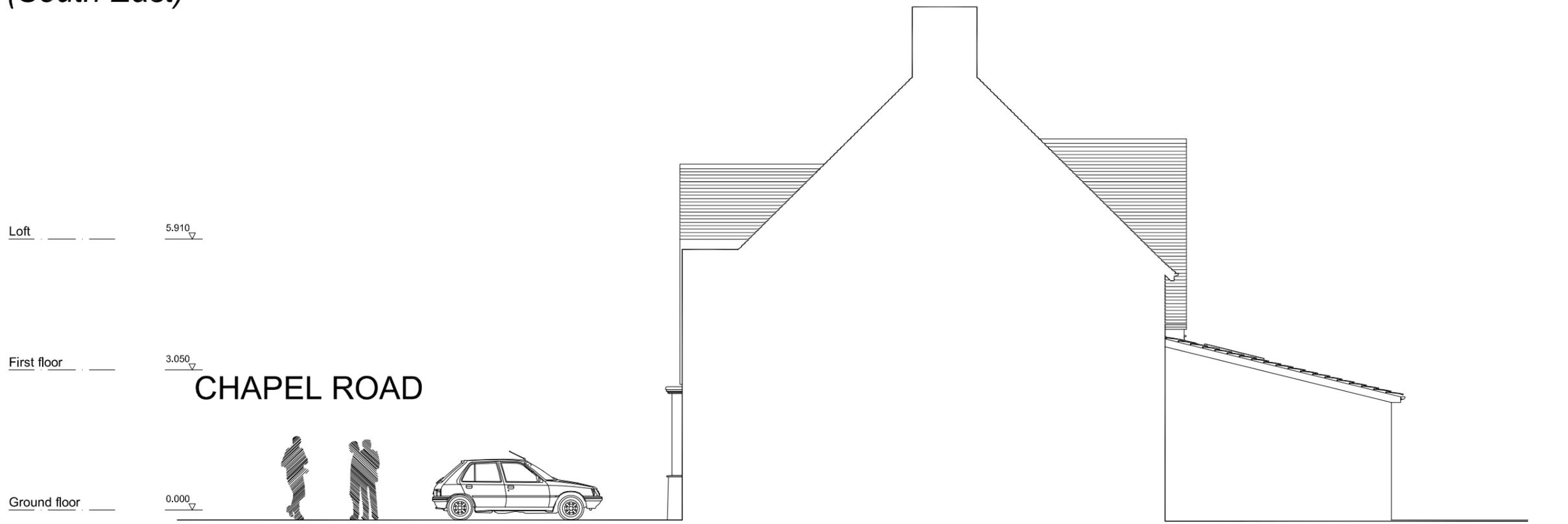


FRONT ELEVATION
(South East)

No.50

No.48

No.46



SECTIONAL ELEVATION A-A
(North East)

No.48

B	Extension roof pitch increased to approx 15 degrees Addition of 3no. Velux rooflights	29/02/16
REVISION	DESCRIPTION	DATE

CLIENT
MR AND MRS B. PAUL

CONTRACT
HOUSE EXTENSION,
48 CHAPEL ROAD,
TADWORTH,
SURREY KT20 5SB

DESCRIPTION
ELEVATIONS 1
- PROPOSED

alex coleman associates
architecture and design

40 Copse Edge Avenue, Epsom, Surrey KT17 4H5
Tel: 01372 742535 Email: alex@alexcoleman.com www.alexcoleman.com

SCALE: 1:50@A1; 1:100@A3	DATE 07/05/18
DRAWN AJC	DRAWING No. 01806-034 PLANNING
REVISION B	

PLOT DATE = 01/01/2019